

CASE SUMMARY:

The subject property is located on SR 471 south of the intersection of SR 471 and SR 50 in the Tarrytown area of Sumter County. The subject property consists of two parcels zoned A5 and non-compliant A5 with a future land use as Industrial. This request is to rezone parcel S25=001 and a portion of S25=002 from A5 and noncompliant A5 to ID to bring the property into compliance with the Future Land Use Map.

The requested area to be rezoned is approximately 8.80 acres with a width of approximately 162 feet and a depth of approximately 168 feet. The dimensions of the property are consistent with the minimum lot size requirements of Section 13-551, Table 13-551A, for the industrial zoning district.

There are currently no central water and sewer facilities available to the subject property. The subject property will be served by well and septic.

CASE ANALYSIS:

The general character of the area surrounding and within the local vicinity of the subject property is a mix of industrial, agricultural, and residential. In addition, the future land use of the property north of subject property is industrial and is used as a lumber/mill. The proposed ID zoning is compatible with the surrounding zoning and land uses.

DEVELOPMENT SERVICES DIVISION STAFF CONCLUSIONS:

Staff deemed the application sufficient and in compliance with the minimum requirements of the Sumter County Land Development Code and Comprehensive Plan.

Notices Sent: 15 (In objection) 0 (In favor) 3

Zoning & Adjustment Board Recommendation: (Approval 5-0)



SUMTER COUNTY ZONING AND ADJUSTMENT BOARD

910 N. Main Street, Suite 301, Bushnell, FL 33513
Tel. (352) 793-0270 Fax (352) 793-0274

Project No: R2012-0045

Application: 9/28/2012 SCO

REZONING

PROJECT TYPE REZONING		PROJECT SUBTYPE INDUSTRIAL		PROJECT DESCRIPTION Rezone 8.80 acres MOL from a non-compliant A5 & A5 to ID	
OWNER FARMER, WARNETA			ADDRESS 14106 SR 471 WEBSTER, FL 33597		PHONE
AGENT/APPLICANT William Ward/John MacGregor/Jay Robbins			ADDRESS 13094 SR 471 WEBSTER, FL 33597		PHONE (352) 277-5959
PARCEL # S25=001	SEC/TWP/RNG 252222	GENERAL LOCATION Tarrytown		DIRECTIONS TO PROPERTY	
Property Address 14246 SR 471, Webster, FL 33597					
PARCEL SIZE 13.8 acres MOL		F.L.U. IND		LEGAL DESCRIPTION THE N 165 FT OF THE N 1/2 OF NE 1/4 OF NE 1/4 LESS RR R/W OR 178 PG 533 LESS BEG AT INTERSECTION OF N LINE OF SEC & TH W R/W LINE OF SR 471 RUN W 210 FT S 165 FT E 210 FT N 210 FT TO POB S25=002 S1/2 OF N1/2 OF NE1/4 OF NE1/4 & THE S1/2 OF N1/2 OF N1/2 OF NE1/4 OF NE1/4 LYING E OF RR LESS COMM AT INTERSECTION OF LINE OF SEC & W R/W LINE OF SR 471 RUN W 210 FT S 165 FT TO POB THENCE RUN S 45 FT E 210 FT N 45 FT W 210 FT TO POB LESS THE W 1/3 THEREOF	
PRESENT ZONING non-compliant A5 & A5		PRESENT USE Vacant/Res			
REQUESTED REZONING Rezone 8.8 acrs MOL from a non-compliant A5 & A5 to ID to bring the property into compliance with t		REZONED ACREAGE 8.8 acres MOL		REZONED LEGAL DESCRIPTION N 165' of N 1/2 of NE 1/4 of NE 1/4 less RR R/W OR 178 PG 533 less beg at intersection of N line of Sec & the W R/W line of SR 471 run W 210' S 165' E 210' N 210' to POB & S 1/2 of N 1/2 of NE 1/4 of NE 1/4 less E 166' of N 45'	
ABUTTING PROPERTY ZONING/USE F.L.U.	NORTH M1/Lumber yard ID	EAST Non-compliant A5/Res, vacant Ag	SOUTH A5/Res Ag	WEST A5/Res Ag	
<p>As owner/agent, I agree to post the hearing plaques within 24 hours on the property's road frontage at the corners and at 300' intervals between. I understand any action on my application will be governed by Sumter County's Comprehensive Plan and Development Code, and my payment of the non-refundable application fee will not influence the decision made on this application.</p>					
<p>UNDER PENALTIES OF PERJURY, I DECLARE THE ABOVE INFORMATION THAT I HAVE GIVEN TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.</p>					
				September 28, 2012	
Signature(s)				Date	
<p>A Public Hearing before the Zoning and Adjustment Board will be held on the date indicated below in the Sumter County Courthouse, Bushnell, FL. This application will be heard at the time indicated below. Your appearance or representation at this hearing is required, and lack of same will cause your application to be disposed of according to the policy adopted by the Board of County Commissioners. The recommendation of the Zoning and Adjustment Board on this request will be presented to the Board of County Commissioners at a Public Hearing to be held at the date/time indicated below in the Sumter County Courthouse, Bushnell, FL, room number indicated below.</p>					

Zoning and Adjustment Board

11/5/2012 6:30 PM

Room:

Action: _____

Colony

Cottage

Rec. Center

County Commission Meeting

11/13/2012 5:30 PM

Room: 142

Action: _____

NOTICES SENT

15

RECEIVED IN FAVOR

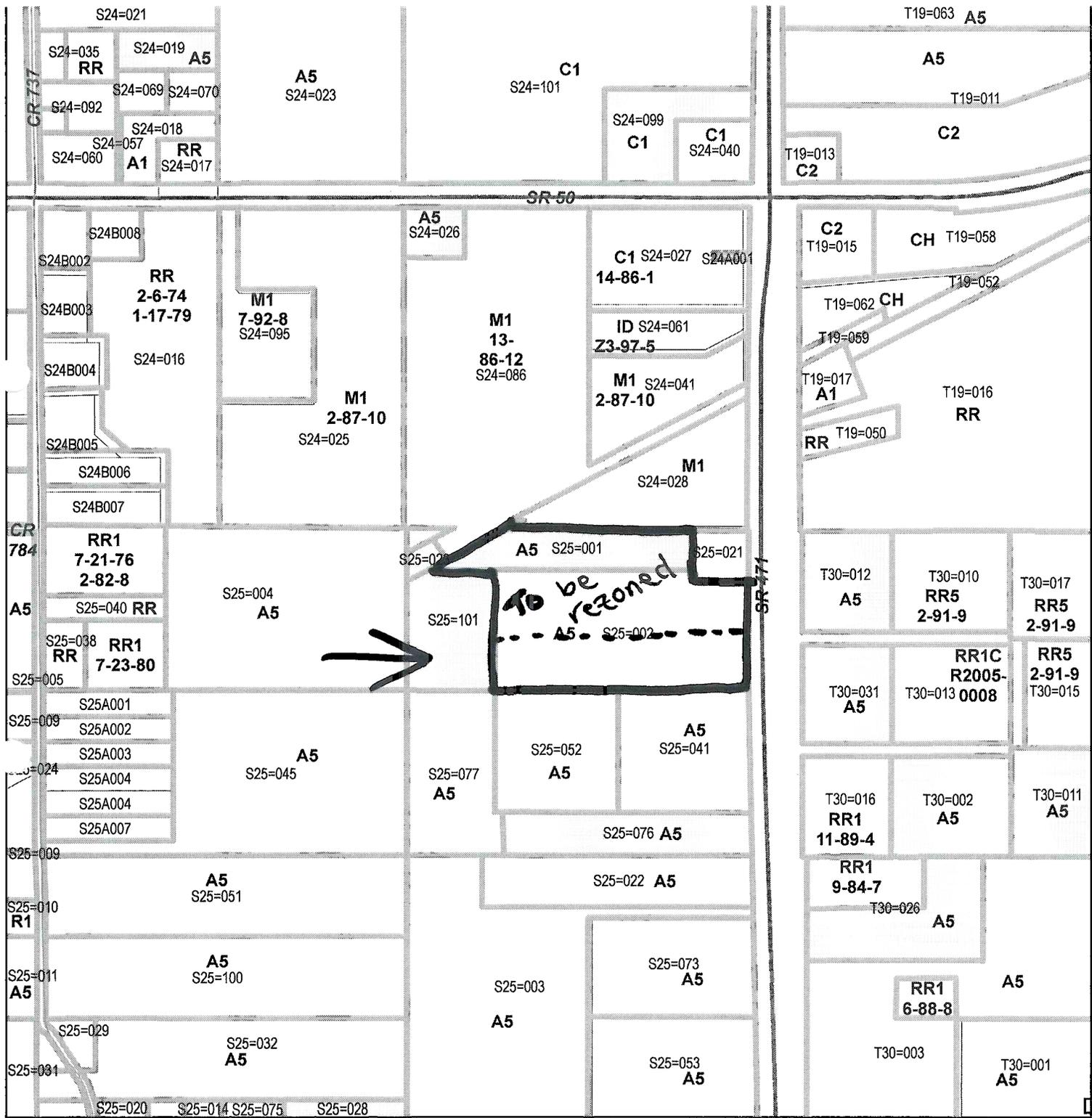
3

RECEIVED OBJECTING

0

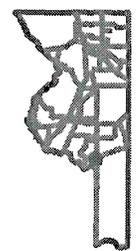
Please Note: In preparation of the application, county zoning staff will visit the site to take photographs. This will be done in county-marked vehicles. Generally, staff will take photographs from the roadway or easement, and will not come on site unless access requires it.

(llw)



R2012-0045
Farmer, Warneta
Sec. 25, Twp. 22, Rng. 22

- Legend**
- Non-Compliant
 - Compliant
 - Parcel Pin #'s
 - Parcels
 - Florida Counties



1 inch = 0.11 miles

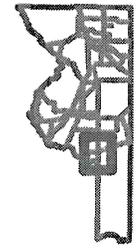
Date Prepared: October 5, 2012



R2012-0045
Farmer, Warneta
Sec. 25, Twp. 22, Rng. 22

Legend

 100 Year Flood Zones



1 inch = 0.79 miles

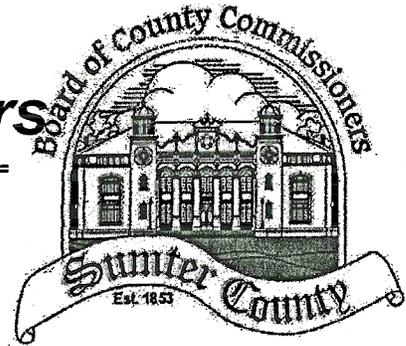
Date Prepared: October 8, 2012

Board of County Commissioners

Division of Planning & Development

Planning Services

7375 Powell Rd., Ste. 115 • Wildwood, FL 34785 • Phone (352) 689-4460 • FAX: (352) 689-4461
Website: <http://sumtercountyfl.gov/plandevelop>



Authorization Form for Individuals

State of Florida
County of Sumter

JOHN MacGregor OR
JAY ROBBINS OR

I/we, the undersigned as the () Applicant (X) Owner hereby authorize William Ward to act as my/our agent in connection with the (X) Rezoning () Comprehensive Plan Amendment () Special Use Permit () Temporary Use Permit () Conditional Use Permit () Operating Permit (X) Other:

DEVELOPMENT REVIEW

on the following described property located in Sumter County, Florida:

Insert Legal Description:

3.8 acres legally described as (parcel 525 = 001)

Parcel A

THE N 165 FT OF THE N 1/2 OF NE 1/4 OF NE 1/4 LESS RR R/W OR 178 PG 533 LESS BEG AT INTERSECTION OF N LINE OF SEC & THE W R/W LINE OF SR 471 RUN W 210 FT S 165 FT E 210 FT N 210 FT TO POB

plus

parcel B attached

Warneta Farmer

Signature
Printed Name: Warneta Farmer

Signature
Printed Name: _____

SWORN TO and subscribed before me this 13th day of September 2012 by Warneta Locke Farmer, personally known to me to the person(s) named above or who produced the following identification:

Drivers License

Sandra M Casels (Seal)

Notary Public, State of Florida
My Commission expires:

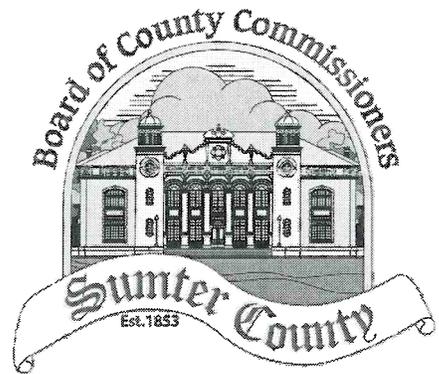


Board of County Commissioners

Development Services Division

Planning Department

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NOTICE OF PUBLIC HEARING

October 22, 2012

ROBBINS MANUFACTURING CO
PO BOX 17939
TAMPA, FL 33682

RECEIVED

OCT 24 2012

SUMTER COUNTY
DEVELOPMENT SERVICES

To property owners whose property boundaries are within a distance of 150 feet of the outside perimeter of property in the name of **Warneta Farmer**. This property is being considered for rezoning at a public hearing.

CASE# **R2012-0045** To rezone **8.80 acres MOL** from **A5 to ID** (Industrial District) to provide for manufacturing, fabrication, processing, assembly, treating, servicing and repairing, salvaging and recycling, storage and warehousing, wholesaling and distribution, and research and testing where such activities have no more than a moderate adverse impact on adjoining non-industrial properties.

A public hearing before the Zoning and Adjustment Board will be held at **Colony Cottage Recreation Center, 510 Colony Blvd, The Village, Florida 32162** on **Monday, November 5, 2012, at 6:30 p.m.**

The property is located as follows: Tarrytown area: The property is located ¼ mile south of intersection of SR 471 and SR 50 on west side of the road.

The recommendations of the Zoning and Adjustment Board will be presented to the Sumter Board of County Commissioners at a public hearing to be held at 910 N. Main Street, Room 142, Bushnell, Florida 33513 on **Tuesday, November 13, 2012, at 5:30 p.m.**

Written comments submitted will be heard. Hearings may be continued from time to time as found necessary. Please return this form to: SUMTER COUNTY PLANNING DEPARTMENT, 7375 Powell Road, Suite 115, Wildwood, Florida, 34785. Questions should be directed to the Planning Department at (352)689-4460.

I approve of the above.

I do not approve of the above for the following reason(s):

B. Bon VP

Please return no later than **October 31, 2012.**

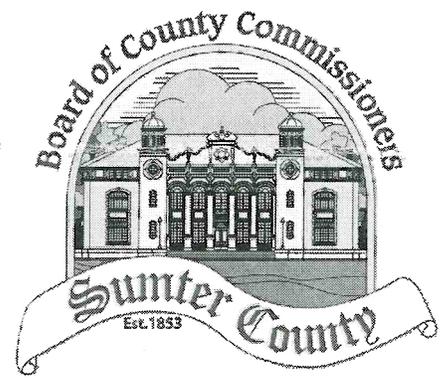
Re: Case# **R2012-0045**

Board of County Commissioners

Development Services Division

Planning Department

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NOTICE OF PUBLIC HEARING

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OCT 7 9 2012

SUMTER COUNTY
DEVELOPMENT SERVICES

October 22, 2012

FARMER WARNETA
14106 SR 471
WEBSTER, FL 33597

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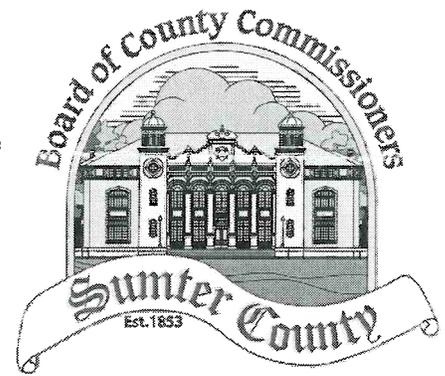
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NOTICE OF PUBLIC HEARING RECEIVED

OCT 29 2012

SUMTER COUNTY
DEVELOPMENT SERVICES

October 22, 2012

FARMER WARNETA & F TRAVIS, W/R
14020 SR 471
WEBSTER, FL 33597

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